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CIVIL ENGINEERING | BUILDING DESIGN
CONSTRUCTION MANAGEMENT

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WOODSON DEVELOPMENT

ISSUE/REVISION RECORD

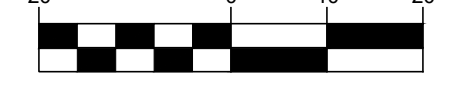
PROJECT NAME
WOODSON MIXED USE DEVELOPMENT

500 WOODSON DRIVE
BRYAN, TEXAS TBD

PROJECT NUMBER
20006

DRAWING FILE
20006-SITE SDRG.DWG

SCALE 1" = 20'



PROFESSIONAL SEAL

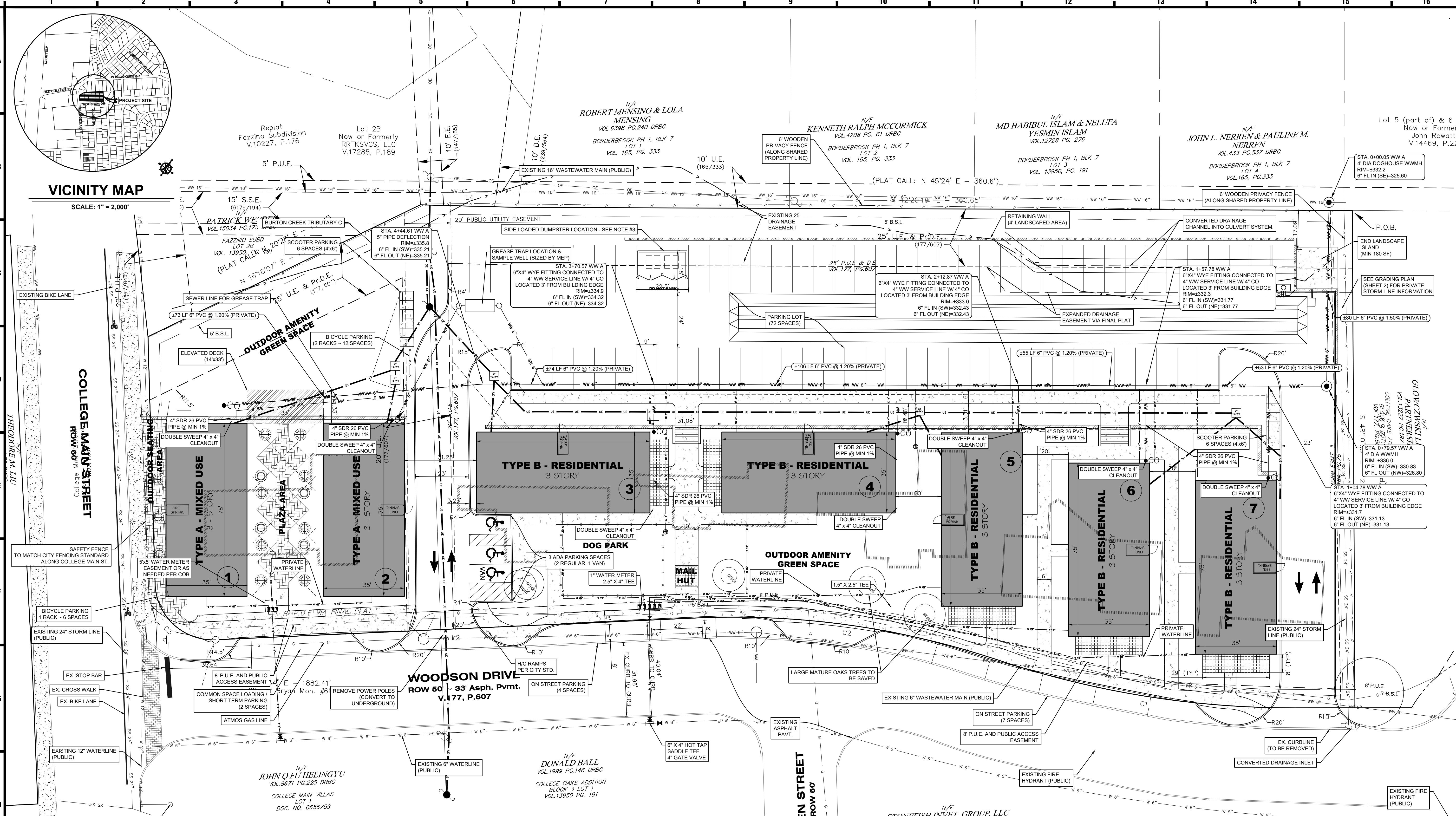


PROJECT STATUS
SDRC SITE PLAN

SHEET TITLE
SITE & DIMENSIONAL CONTROL PLAN

SHEET NUMBER

1 of 3



BUILDING & SITE SUMMARY table with columns: BLDG #, BLDG. TYPE, UNIT COUNT, BLDG. DESCRIPTION, AREA (SF) (GFA), STORY / HEIGHT. Includes totals for unit count, bedroom count, and area.

PARKING SUMMARY table with columns: UNIT, UNIT COUNT, REQ'D RATIO, REQ'D PARKING. Includes rows for commercial, bedrooms, gross parking, reduction in parking, and provided parking.

- SITE PLAN NOTES: 1. SIGNAGE USED TO PREVENT NON-CUSTOMERS FROM PARKING IN ANY ON-STREET PARKING SPACES IS PROHIBITED. 2. THE PROPERTY IS ZONED PLANNED DEVELOPMENT - MIXED USE (PD-M) PER CITY OF BRYAN ORDINANCE NO. 2490, APPROVED BY CITY COUNCIL ON 6/8/2021. 3. CONTAINMENT AREA PAD FOR DUMPSTER SHALL BE LEVEL W/ APPROACH TO ENCLOSURE <2% SLOPE. CONTAINMENT AREA SHALL USE 8" CONCRETE, REINFORCED WITH #5 BARS AT 12" OCEW AND THE PAD SHALL EXTEND AN ADDITIONAL 10' IN FRONT OF THE CONTAINMENT AREA. CONTAINMENT DOOR MUST OPEN AT LEAST 10 FEET WIDE FOR EACH SIDE OF LOAD CONTAINER. CONTAINMENT AREA MUST BE SURROUNDED ON THREE SIDES WITH A SCREEN CONSTRUCTED TO A HEIGHT OF SIX FEET. THE PAD, SCREENING, AND DOORS WILL BE MAINTAINED AT THE PROPERTY OWNER'S EXPENSE. 4. ANY EXISTING SEWER TAPS FOR EXISTING HOMES TO THE EXISTING MAIN WILL NEED TO BE CAPPED OFF AT THE MAIN AS DIRECTED BY THE CITY. 5. PLEASE CALL STREETS & DRAINAGE SERVICES AT (979) 209-5900 AT LEAST 48 HOURS PRIOR TO POURING CONCRETE, TO SCHEDULE A DRIVEWAY INSPECTION. 6. DRIVEWAYS MUST COMPLY WITH B/C'S UNIFIED STANDARD CONSTRUCTION DETAIL ST2-03. 7. THE DEVELOPER WILL BE RESPONSIBLE FOR PROPERLY TYING DRIVEWAY(S) INTO (AND/OR PATCHING) EXISTING ROADWAY. STREET REPAIRS, WHEN REQUIRED, SHALL BE AS DETAILED IN B/C'S UNIFIED STANDARD CONSTRUCTION DETAIL ST4-01 OR ST4-02. 8. PER ORDINANCE NO. 2490, FRONT, REAR, AND SIDE SETBACKS FROM STRUCTURES TO PROPERTY LINES ARE 5 FEET. 9. CITY OF BRYAN WILL MAKE THE PROPOSED WATER TAPS. DEVELOPER WILL BE RESPONSIBLE FOR PAYING TAP FEES. 10. FDOS ARE LOCATED DIRECTLY OUTSIDE THE FIRE RISER ROOM. 11. ALL SIDEWALKS SHALL BE CONCRETE. ALL ROADWAY / PARKING PAVEMENT SHOULD BE LIGHT-DUTY.

PROJECT ENGINEER: M3 ENGINEERING, 2900 S CONGRESS, SUITE 203, AUSTIN, TEXAS 78704. LEGAL DESCRIPTION: LOTS 18-13, COLLEGE OAKS ADDITION, 2.210 ACRES. OWNER: CZECHMEX PROPERTIES, LLC, 13492 RESEARCH BLVD., SUITE 120-152, AUSTIN, TEXAS 78750. APPLICANT: WOODSON DEVELOPMENT, LLC, 4464 LEONARD ROAD, BRYAN, TEXAS 77807.

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